



Gardens  
One282



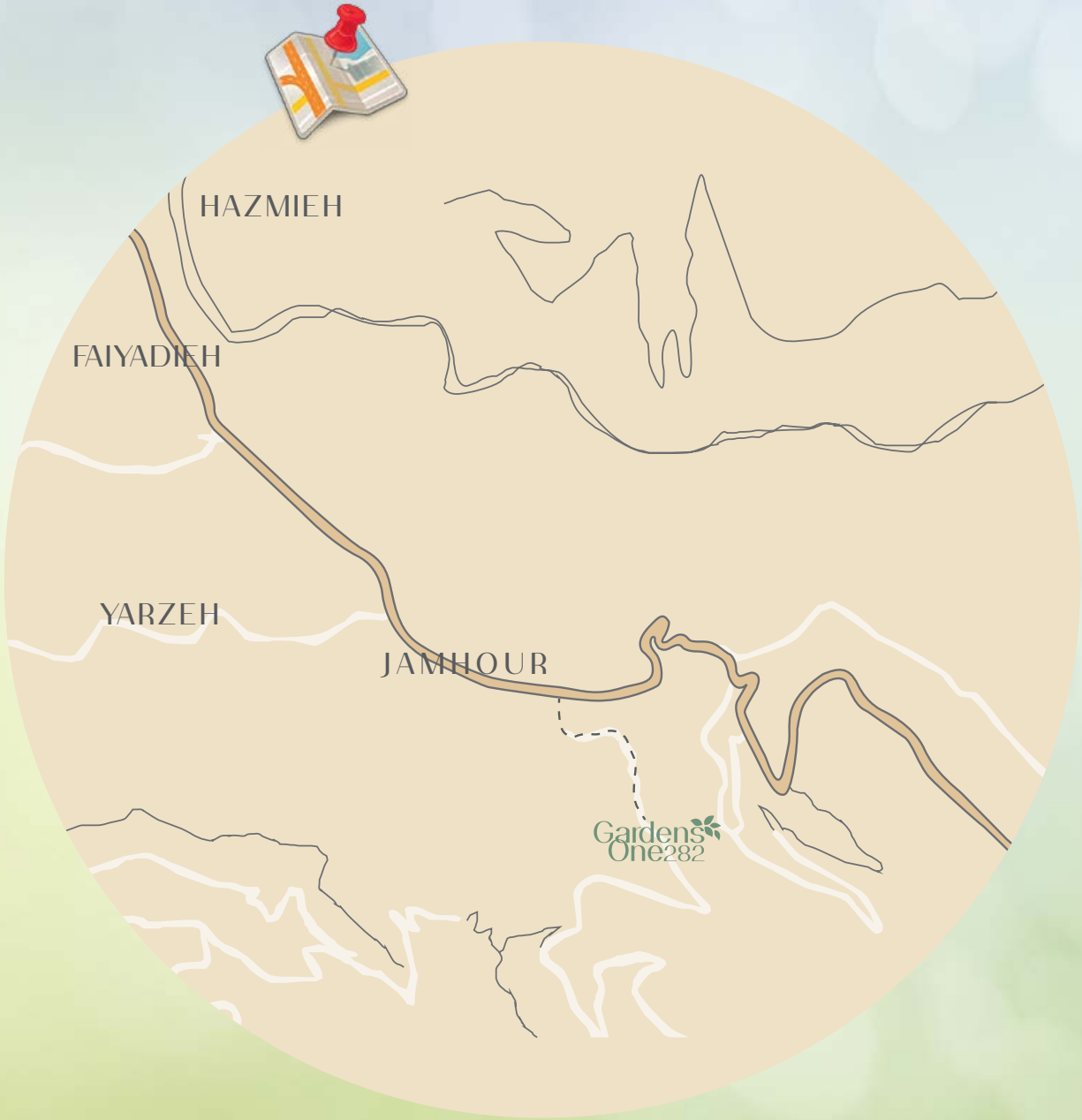
# Experience the great outdoors & a healthy lifestyle

“Gardens One 282” is located 6 km away from Beirut east entry point and is very conveniently served by a new highway that has definitively resolved all congestion problems when heading to and from the capital.

“Gardens One 282” will allow you to experience the great outdoors with its 6000 sqm of gardens and green areas.

Residents will enjoy a spectacular view overlooking the coastline and the surrounding mountains all from the comfort of their balconies.

Residents can also benefit from a fully equipped sports room because at “Gardens One 282” residents are not only sharing space with their neighbors but a healthy lifestyle.



*Panoramic View*









# Specifications overview

**DESIGN CRITERIA**  
Modern architectural character

Structurally designed in accordance to earthquake requirements and standards

**FACADES**  
Double walls; providing sound and thermal insulation

Façade finishes shall be a combination of natural & artificial stone cladding.

Double glazed aluminum doors and windows; SIDEM 2000 or equivalent

**INTERNAL FINISHES**  
Ceramic flooring with marble texture

**INTERNAL WOODWORKS**  
Modern design

Entrance doors are hollow core, MDF, wood veneer finish

Internal doors are hollow core, MDF, wood veneer finish

**KITCHENS**  
Quality kitchens by a specialized local supplier; Meker, Etamco or equivalent

Granite counter top

**LIFTS**  
Kone, Schindler or equivalent

**INTERNAL MECHANICAL INSTALLATIONS**  
Sanitary fixtures by Laufen, Keramag, Duravit or equivalent

Mixers by Grohe, Hans Grohe or equivalent

Basic accessories shall be provided in bathrooms

Individual electric hot water storage tanks

**INTERNAL ELECTRICAL INSTALLATIONS**  
Switches and sockets by Bticino, Legrand or equivalent

TV and telephone outlets

**COMMON ELECTRICAL INSTALLATIONS**  
Motion detectors and timers in basements

Videophone

Earthing system

Electrical barriers for main entrance and parking with remote control

CCTV covering basements and main entrance

**COMMON AMENITIES**  
Common underground parking with extra parking spaces

Visitors parking

Gym

## Banking facilities

“Gardens One 282” OFFERS YOU BANKING FACILITIES

TAILOR-MADE FINANCING PACKAGES WILL BE NEGOTIATED FOR EACH CLIENT.





Project layout



Typical Plan  
Blocs  
A/B/C/D/E

160m<sup>2</sup>





# Typical Plan Bloc F

156m<sup>2</sup>  
LEFT

183m<sup>2</sup>  
RIGHT



# Ground Floor Bloc G

142m<sup>2</sup>  
LEFT  
144m<sup>2</sup> garden

142m<sup>2</sup>  
RIGHT  
104m<sup>2</sup> garden



Typical Plan  
Bloc H

131m<sup>2</sup>



Typical Plan  
Bloc J

222m<sup>2</sup>  
LEFT

211m<sup>2</sup>  
RIGHT





# Duplex Lower Bloc I

162m<sup>2</sup>



# Roof Top Bloc I



- 32m<sup>2</sup> Indoor area
- 53m<sup>2</sup> Pergola
- 77m<sup>2</sup> Terrace



















# Project Partners

Owner



Architect




Consultant



Contractor







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